

CAPITAL PROJECTS UPDATE: OCTOBER 2025



Settle down.

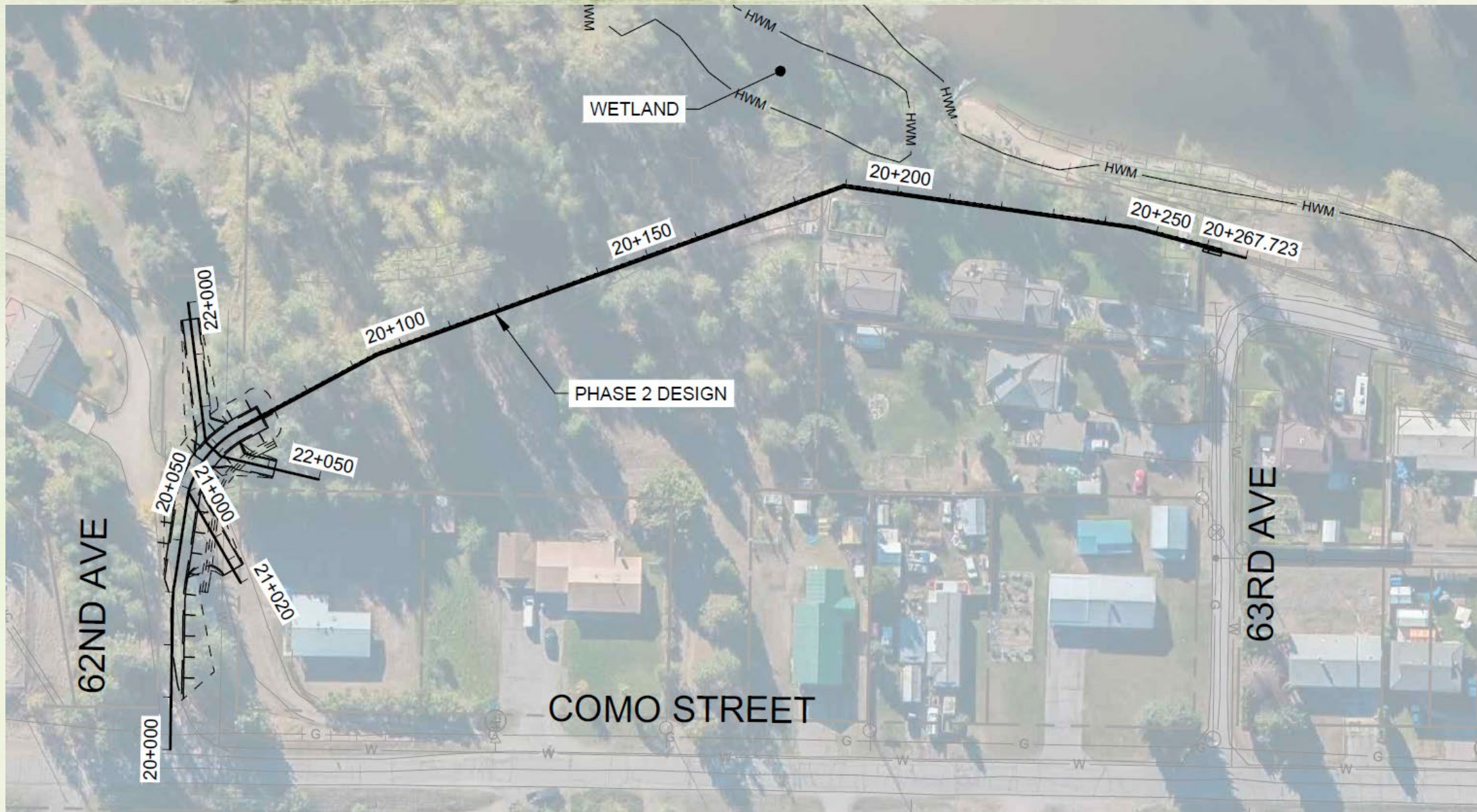
PRESENTATION OUTLINE

- South Ruckle Project Update
- FMP Costs to Date
- FMP Capital Plan
- 3rd Street Sewer Repair
- 2nd Street Sidewalk
- Valley Heights Electrical Update
- East Zone Reservoir Update



STATUS UPDATE: WP3, SOUTH RUCKLE DIKE AND DRAINAGE NETWORK

- A. Dike Phase 1 (North of 63rd Ave) complete and providing flood protection
- B. Restoring public and private property impacted by construction
- C. Dike Maintenance Act (DMA) authorization in hand for entire dike
- D. Clearing for construction on Phase 2 (South of 63rd Ave) began September 8th
- E. Sheetpile installation started September 22nd and nearing completion
- F. Finalizing design and budgeting for Phase 2b (drainage network)
- G. Working with Interfor and Tech Safety BC on drainage network adjacent railway





WP3 - SOUTH RUCKLE DIKE AND DRAINAGE PHASE 2 MOBILIZATION AND CLEARING





WP3 - SOUTH RUCKLE DIKE AND DRAINAGE PHASE 2 - SHEETPILE INSTALLATION

[Sheetpile Installation Video](#)





WP3 - SOUTH RUCKLE DIKE AND DRAINAGE PHASE 2 - SHEETPILE INSTALLATION



WP3 PERMITTING UPDATE

Permit Name	South Ruckle Dike (North of 63 rd Ave)	South Ruckle Dike (South of 63 rd Ave)
Heritage Inspection Permit (HIP)	In Hand	In Hand
Archeological Impact Assessment (AIA)	Complete	Complete
Site Alteration Permit (SAP)	Confirmed as not required	Amended to include new site
Dike Maintenance Act Permit (DMA)	Received	Received
Letter of Advice (LOA) from Fisheries	Received. Extended to 2026.	LOA Received July 22 nd , 2025
Fish Act Authorization (FAA)/ Fish Collection Permit	Confirmed as not required	Confirmed as not required
Species at Risk Act (SARA) Permit	Covered by LOA	Covered by LOA
Water Sustainability Act (WSA) Permission	S11 not required for dike. Confirmed also not required for outfalls.	S11 not required since work is away from the river.
License of Occupation (LOO)	New LOO in place. LOO for 2019 revetment now superseded.	In place. No longer relevant due to private property boundary adjustment.
Statutory Right-Of-Way (SRW) over Crown Land	Required within 6 years to replace LOO	Not required
Statutory Right-Of-Way (SRW) over Private Land	In place	In place
Interfor SRW, Grand Forks Rail, TSBC, Rail tie-in Approval	Complete	Not required

FLOOD MITIGATION PROGRAM COSTS TO DATE

Scope	Actuals to June 30th, 2025
WP1 - Downtown	\$ 23,415,467
Riverside Drive Stormwater Interceptor	\$ 4,742,080
WP2 a&b - North Ruckle	\$ 8,400,452
WP2c - Rockwool	\$ 5,169,862
WP3 – South Ruckle	\$ 3,526,130
WP 5 - Johnson Flats	\$ 1,850,019
WP 6 – Rural Erosion (Phase 1), by RDKB	\$ 434,390
WP 7 - Floodplain Restoration	\$ 2,110,035
Haz-mat Assessments	\$ 70,311
Demolition	\$ 1,326,080
Capital Projects Subtotal	\$ 51,044,826
Property (land)	\$ 6,662,181
Property (improvements)	\$ 7,392,035
Add. City Contributions (LAP)	\$ 3,468,814
Property Subtotal	\$ 17,523,030
Additional City Contributions (non-LAP)	\$ 1,359,278
Grand Total	\$ 69,927,134



CURRENT FLOOD MITIGATION CAPITAL PLAN

2024+ Capital Plan

Project	Scope	April 2024 Reforecast (BAC)	Actual Costs (AC) to June 30th, 2025	Estimate to Complete (ETC)	Estimate at Completion (EAC) = AC + ETC	Variance at Completion (VAC) = BAC - EAC	Percent Complete
WP1	Program Wide Schematic Design; Downtown Dikes and Pump Stations	\$ 23,591,822	\$ 23,415,467	\$ 176,355	\$ 23,591,822	\$ -	99.3%
WP1	Riverside Drive Stormwater Interceptor	\$ 4,761,540	\$ 4,742,080	\$ 19,461	\$ 4,761,540	\$ -	99.6%
WP2 a&b	North Ruckle Trail Dike	\$ 8,439,271	\$ 8,400,452	\$ 38,819	\$ 8,439,271	\$ -	99.5%
WP2c	Rockwool Trail Dike	\$ 5,683,726	\$ 5,169,862	\$ 47,253	\$ 5,317,115	\$ 466,611	97.2%
WP3	South Ruckle Dike and Drainage Network	\$ 5,509,846	\$ 3,526,130	\$ 1,983,717	\$ 5,509,846	\$ -	64.0%
WP5	Johnson Flats Erosion Protection	\$ 1,850,019	\$ 1,850,019	\$ -	\$ 1,850,019	\$ -	100.0%
WP6	Rural Erosion Protection (Phase 1), by RDKB	\$ 814,992	\$ 434,390	\$ 380,602	\$ 814,992	\$ -	53.3%
WP7	Floodplain Naturalization and Habitat Offsetting	\$ 2,130,999	\$ 2,110,035	\$ 20,963	\$ 2,130,999	\$ -	99.0%
All	Haz-mat Assessments	\$ 70,311	\$ 70,311	\$ -	\$ 70,311	\$ -	100.0%
All	Demolition	\$ 1,328,080	\$ 1,326,080	\$ -	\$ 1,326,080	\$ 2,000	100.0%
	Totals	\$ 54,180,607	\$ 51,044,826	\$ 2,667,170	\$ 53,811,995	\$ 468,611	94.9%





3RD STREET SEWER REPAIR





2ND STREET SIDEWALK REPLACEMENT



STATUS UPDATE: VALLEY HEIGHTS ELECTRICAL SYSTEM UPGRADE

- A. Civil Scope to install conduit, vaults and transformer pads complete
- B. Electrical scope to install cables, new transformers and make electrical connections complete
- C. All residents connected to new system
- D. Voltage conversion complete
- E. Paving complete



VALLEY HEIGHTS ELECTRICAL SYSTEM UPGRADE FINAL CONNECTIONS AND VOLTAGE CONVERSION





VALLEY HEIGHTS ELECTRICAL SYSTEM UPGRADE PAVING



STATUS UPDATE: WATER SYSTEM IMPROVEMENTS PROJECT

- A. Tank size and configuration selected (14.2m high x 23m wide; 5,854 cubic meters)
- B. Reservoir pad preparation work complete – no rock encountered, site lowered by an additional 1.0m
- C. Confirming pump upgrades required to support new reservoir TWL
- D. Completing detailed design for reservoir site works (work outside tank footprint)
- E. Developing Request for Proposals (RFP) for reservoir site works
- F. Shop drawings under development by tank fabricator
- G. Exploring options for well improvements

WATER SYSTEM IMPROVEMENTS – BUDGET SUMMARY

Scope	Budget (BAC)	Actual Costs (AC) to Aug 31st	Estimate to Complete (ETC)	Estimate at Completion (EAC) = AC + ETC	Variance at Completion (VAC) = BAC - EAC	% Complete	Notes
Tank Supply and Install	\$ 1,951,909	\$ -	\$ 1,951,909	\$ 1,951,909	\$ -	0.0%	Based on H2Flow tank T7, plus logo costs, plus construction contingency
Bulk Excavation Construction	\$ 206,224	\$ -	\$ 206,224	\$ 206,224	\$ -	0.0%	Based on base contract with Argosy, plus optional unit rate work, plus rock removal contingency, plus general construction contingency
Site Services Construction	\$ 548,384	\$ -	\$ 548,384	\$ 548,384	\$ -	0.0%	Based on engineer's estimate of site services scope. RFP under development. Includes three well pump replacements.
Professional Fees, Reservoir	\$ 251,362	\$ 138,073	\$ 113,289	\$ 251,362	\$ -	54.9%	Includes review and recommendations work from 2025, plus current design, procurement and construction phase services. Includes necessary SCADA upgrades.
Professional Fees, Well Improvements	\$ 206,389	\$ 19,425	\$ 186,964	\$ 206,389	\$ -	9.4%	Includes design, procurement, and construction phase services. Includes SCADA improvements as needed.
Totals	\$ 3,164,269	\$ 157,498	\$ 3,006,771	\$ 3,164,269	\$ -	5.0%	
Total Project Funding		\$ 3,980,924					
Funding Remaining for Well Improvements		\$ 816,655					





RESERVOIR PAD PREPARATION



Settle down.





RESERVOIR PAD PREPARATION

[Timelapse Video](#)





